



Department of Community Development
Planning & Development

TO: _____ City Arborist, Dan Spoden
_____ City Land/Zoning Department, Greg Bokan/Ben Walker
_____ City Building Department, Eric Lowe
_____ City Utility Department (Water/Sewer), Sung Chung
_____ City Utility Department (Electric), Kevin Shriver
_____ City Engineering Department (Stormwater), John Keenan
_____ City Engineering Department (Transportation), John Keenan/Lance Kilby
_____ City Fire Marshal, James Hartnett
_____ City Police Department
_____ Economic Development Department, Patrick Smalls
_____ Manassas Regional Airport, Richard Allabaugh
_____ Manassas City Public Schools, Andy Hawkins
_____ Prince William County

FROM: Christian Samples, AICP, Senior Planner, Community Development

DATE: August 18, 2023

RE: REZ #2024-0001: Caton-Merchant House
9201 Portner Avenue

The attached rezoning request is forwarded to you for your recommendations/comments. Your response will be provided to the applicant and addressed in the Community Development Department's staff report.

- ❖ To consider an application to rezone with proffers from R-1 Single Family Residential (Low Density) to R-6 Age Restricted Residential to add 16 additional assisted living/memory care units to an existing 78-room assisted living facility. The property is located in the Downtown Character Area of the Comprehensive Plan.

Please use EnerGov to submit your comments by **September 1, 2023**. Reviewers without Energov access should submit their comments to csamples@manassasva.gov.

Thank you.

Comments/Concerns:

Print Name: _____

Signature: _____

Date: _____



CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

REZ #: _____

DATE: _____
(Completed by City Staff)

REZONING APPLICATION

Site Address: 9201 Portner Avenue _____ Manassas, VA 20110

Street

Tax Map No(s): ID 101/ 10 3A/B/ / _____

Site Acreage: 3.767 acres _____ Zoning District: R-1 _____

Comprehensive Plan Designation: Mathis Character Area _____

Proposed Zoning: R-6 Age Restricted Residential _____

This is a proffer amendment to existing REZ #: _____

APPLICANT

MCAP Manassas LLC

Name (Please Print)

Signature

534 E. Main St., Suite B

Address

Charlottesville VA 22902

City

State

Zip Code

434.963.4917

Phone #

Fax #

kwillis@mcapfunds.com

E-mail Address

OWNER

(Leave Blank if Same as Applicant)

Samantha Duckett (Corporate Counsel for)

Name

Prince William Hospital

Company

8700 Sudley Rd., Suite 400

Address

Manassas VA 20110

City

State

Zip Code

540.717.9095

Phone #

Fax #

yjc6mr@uvahealth.org

E-mail Address



CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

CASE # _____
(Completed by City Staff)

CONFLICT OF INTEREST AFFIDAVIT

STATE OF VIRGINIA

15th of AUGUST 2023, to wit:

Tax Map No. 101-10-3A-B

Property Address: 9201 PORTNER AVE MANASSAS VA 20110

I hereby certify that no member of the City Council or the Planning Commission of the City of Manassas, Virginia, has any interest in the above property, either individually, by ownership of stock in a corporation owning such land, or partnership, or as a holder of ten percent (10%) or more of the outstanding shares of stock in or as a director or officer of any corporation, owning such land, directly or indirectly by such member or members of his immediate household.

CHARLES D. CODER
Name of Representative

UVA CATON MERCHANT HOUSE
Company Name

571 284 1163
Telephone

9201 PORTNER AVE MANASSAS VA 20110
Address

[Signature]
Signature of Representative

STATE OF VIRGINIA

COUNTY OF CULPEPER

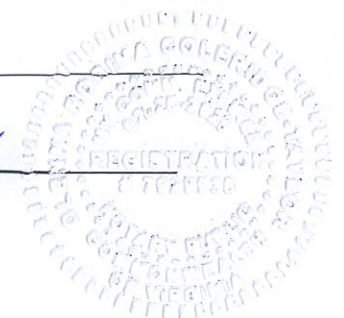
I, Glenna R. Coleridge-Taylor, a Notary Public in and for the State and County aforesaid, do hereby certify that Charles D. Coder whose name is signed to the foregoing, this day personally appeared before me in my State and County aforesaid and acknowledged the same.

Given under my hand this 15th day of AUGUST, 2023.

[Signature]
Notary Public

My Commission expires: 02/28/2025

ID: 7929938





CITY OF MANASSAS
 DEPARTMENT OF COMMUNITY DEVELOPMENT
 PLANNING & DEVELOPMENT
 9800 Godwin Drive
 Manassas, VA 20110
 Phone: 703-257-8278 Fax: 703-257-5831
www.manassasva.gov/Development
 Email: PermitStatus@ci.manassas.va.us

FOR STAFF USE ONLY

REZONING #: _____

QC PERFORMED BY: _____

DATE PERFORMED: _____

REZONING CHECKLIST

REQUIRED ACTIVITIES AND DOCUMENTS	
Prior to formal application submittal, the following pre-application meetings have been held:	
Pre-application meeting with staff <i>Pre-application meeting date</i> _____	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Completed traffic scoping meeting <i>Note: If transportation impact analysis is required, provide date and documentation of TIA waiver</i> _____	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Entire application submitted in PDF format and THREE printed copies (unless otherwise noted) (Z.O. 130-543):	
Complete application (Z.O. 130-543.a)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Required affidavits (<i>Conflict of Interest and Power of Attorney</i>) (Z.O. 130-543.b)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
GDP plan (two 24" x 36" and one 11" x 17") (Z.O. 130-543.f)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Written Narrative (Z.O. 130-543.d)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Architectural renderings (<i>if a new structure or addition proposed</i>) (Z.O. 130-543.e)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Comprehensive Sign Plan (<i>if sign ordinance waivers requested</i>) (Z.O. 130-123.f)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DCSM Waivers (<i>if requested</i>)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Trip generation report or transportation impact analysis (<i>if required at the pre-application meeting or documentation of TIA waiver</i>)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Proposed proffer statement and fiscal impact report (<i>if voluntarily provided</i>)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Certified plat and written boundary description (Z.O. 130-543.c)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Stormwater management documents (DCSM Article 4)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Fees:	
Application fee paid (Z.O. 130-543.j)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Any delinquent taxes and fees have been paid (Z.O. 130-543.k)	<input type="checkbox"/> YES <input type="checkbox"/> NO

APPLICATION REQUIREMENT DETAILS:

Application materials shall meet the following minimum standards to be accepted. Modification may be granted for required application materials during the pre-application meeting.

GDP Plan (Z.O. 130-503.d):


Scale (no less than 1 inch to 50 feet) and north point	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
General vicinity map providing information on existing street and cross street locations within one-quarter mile	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Delineation of area to be rezoned	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Parcel identification numbers, name, present zoning and use of abutting or contiguous parcels	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Existing easements and encumbrances (<i>with date, book, and page number</i>)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Proposed easements and encumbrances	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Existing and proposed utilities (<i>electric, water, sewer and storm sewer</i>)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Names of boundary roads or streets and width of existing rights-of-way	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Typical street sections, right-of-way improvements, access points, travel ways, and vehicle counts	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Proposed sidewalks, and trails including connections of sidewalks and pedestrian pathways within a ¼ mile of the project	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Tabulation of vehicle trip counts	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Layout, orientation, and/or details of buildings and/or improvements, including:	
Fencing	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Signs	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Trash enclosures or note if internal trash storage provided	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Height (<i>must show both actual height of building and building height</i>)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Setbacks and restriction lines	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Exterior lighting, including wall fixtures (<i>downshielded to prevent glare</i>)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
If outdoor storage proposed, depicted activities, material, and location	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Parking:	
Number and location of spaces (<i>full size, compact and ADA</i>)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Space dimensions	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Loading areas	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Location and number of bicycle racks or bicycle storage	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Landscaping:	
Landscaping calculations, including location and amount of tree canopy, parking lot landscaping, and landscape buffers	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

Provide location and dimensions of any vegetated buffer areas along waterways and flood plains	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Overall tree canopy meets or exceeds City Code minimum requirements	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Parking lot tree canopy meets or exceeds City Code minimum requirements	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Written Narrative (Z.O. 130-543.d):	
A description of the proposed development, including scope and scale of the project	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
A statement on how the project complies with the Comprehensive Plan	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
A statement or visual presentation of how adjacent and neighboring properties shall be protected from any adverse effects prompted by the proposed development. This includes vehicular access plans, proposed screening and buffering, and any additional setbacks for the periphery of the development.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
A statement of the projected impact, if any, of the proposed development, and voluntary proffers, if any, being made to mitigate that impact.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
A statement setting forth the maximum number of dwelling units that are proposed.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
A statement of any special amenities that are proposed within the development.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
A statement of any new anticipated off-site improvements that will serve the development, such as roads, water and sewer, and drainage facilities, and a statement of how, when, where, and by whom those improvements will be made.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
A statement setting forth the proposed approximate phasing plan, if any, and the projected wastewater flows for each phase.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
A statement identifying any surrounding areas that have scenic assets or natural features deserving of protection and preservation, with a statement of how protection and maintenance will be accomplished.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Architectural Renderings (Z.O. 130-543.e):	
Renderings must be a minimum of 24" x 36"	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Four-sided, full color, and fully dimensioned drawings drawn to scale	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Exterior finishes and colors and materials list. Architecture of proposed side elevations should be consistent with front elevation.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Comprehensive Sign Plan (Z.O. 130-543):	
Full color, fully dimensioned and scaled renderings of proposed signage	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Lighting information (<i>exterior vs. interior illumination</i>)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Wall signage must be shown on the prospective wall elevation and labeled with what direction the sign is facing	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Freestanding signage location must be shown on the GDP	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
List of specific code waivers and reasoning behind each waiver	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DCSM Waivers:	
List of each specific DCSM waiver must be listed and the reasoning behind each waiver	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Trip Generation Report or Transportation Impact Analysis (DCSM 9-510):	
The document shall meet the minimum requirements laid out in the traffic scoping meeting	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

Proffer Documents (if voluntarily submitted):	
The proffer statement shall include the minimum following language:	
<p>A statement signed by the applicant and the owner or their agents which states either: “Each proffer made in connection with this application for rezoning was made voluntarily and complies with applicable law. Each proffer is reasonably related both in nature and extent to the impacts of the proposed development. No agent of the City has suggested or demanded a proffer that is unreasonable under applicable law.”</p> <p>OR</p> <p>That the applicant, the owner, or both disagree with the above statement and all the facts and reasons which led to that disagreement.</p>	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
<p>The Code of Virginia as adopted by the City of Manassas requires all rezoning applications to identify whether or not any portion of or all of the application is proffered. This statement must be on all plans, plats, and application forms. You must select either of the following statements of proffer: “I hereby proffer that the development and use of the subject property in this application shall be in substantial accordance with the conditions set forth in this submission, unless an amendment thereto is mutually agreed upon by the City Council and the undersigned.”</p> <p>OR</p> <p>“The conditions set forth in this submission are not to be construed as to be binding on the development of the property subject of this application.”</p>	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
The fiscal impact report shall include the following details:	
A list of the proposed proffers	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
A detailed explanation concerning why each proffer is being proposed, what the proffer is intended to mitigate and why it is reasonable	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Cash proffers only: An analysis detailing the amount of the proffer and supporting mathematical calculations	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Certified Plat and Written Boundary Description (Z.O. 130-543.c):	
Prepared by a certified land surveyor	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Bearings and distances for all property lines and existing and proposed division lines	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Area of proposed zoning changes in square feet or acres	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Scale and north arrow	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Names of boundary roads or streets and widths of existing rights-of-way	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Stormwater Management (DCSM Article 4):	
A graphic depicting the stormwater management facilities and approximate size along with limits of clearing and grading accommodate the stormwater management facilities, storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
If infiltration is proposed, the soils should be tested for suitability prior to submission of the application and the results of the infiltration test must be provided.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Stormwater Management/BMP narrative including Virginia Runoff Reduction Spreadsheet and descriptions of how water quantity and water quality management practices requirements will be met.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

Optional Items <i>Recommended to Improve Quality of Application, Consistent with the Goals of the Comprehensive Plan.</i>	
Vegetation & Green Infrastructure:	
Propose preservation of wetlands, flood plains, stream buffers, and slopes through conservation easements and similar methods integrating trails and passive recreation opportunities	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Drip irrigation system proposed for more than 50% of landscaping	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Native vegetation and plantings that support bee pollination proposed within the project	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose to preserve from all development and construction activity minimum of 40% of the greenfield area on the site (<i>if such areas exist</i>) and use native or adapted vegetation to restore 25% (<i>including the building footprint</i>) of all portions of the site identified as previously disturbed	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Proposed to protect, restore, and connect natural areas and enhance access to natural open space	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose green infrastructure to bridge green infrastructure gap identified on Map 8.1 of Chapter 8 of the Comprehensive Plan	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose location, material, and configuration of sustainable stormwater drainage areas, such as pervious pavers, green rooftops, rainwater harvesting, and passive rainwater management (<i>rain garden; dry pond, bioswale</i>)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Air Quality and Energy	
Propose location and specifications of any EV (<i>electric vehicle</i>) capable, EV ready, and EV supply equipment installed parking spaces	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose location and specifications of any rooftop solar panels, inverted wind turbines, or any other renewable energy systems installed on the project	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Provide list of any proposed green building practices and standards	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose any reusing of building materials	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Noise and Light Pollution	
Describe use of any motion sensors and timers to prevent light pollution	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
For a drive-thru only: Screening is provided to prevent headlight glare onto adjacent properties	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Assessment of noise impact from airport and provide noise mitigation measures on residential projects (<i>if within ½ mile of Manassas Regional Airport</i>)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Assessment of noise impact and provide noise mitigation measures Within ½ mile of railroad, PW Parkway, commercial corridors, and collector/connectors.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Mobility	
Propose pedestrian amenities such as trees, shade, benches, water fountains, garbage and recycling cans.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Propose ADA parking spaces that exceeds the minimum Federal requirements	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Provide location and number of any bicycle racks or bicycle storage within the project for bikes that exceed minimum code requirements. Provide number of any proposed shower rooms for employees.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Provide minimum parking required and look for opportunities for pooled (<i>shared</i>) parking spaces with other building.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose 5% of all parking spaces used by the project as preferred parking for green vehicles (<i>hybrid, electric, etc.</i>)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

Propose preferred parking for carpools for 5% of the total parking spaces	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose EV capable, EV ready or EV supply equipment in at least 2% of total parking spaces	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Public Health	
Propose outdoor space greater than City Code minimum requirements	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Provide list of local and regional parks (<i>within and adjacent to the City</i>) within ¼ mile of the project	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Show location of any proposed onsite exercise facilities such as outdoor recreation equipment and onsite indoor storage of recreational equipment such as bicycles and kayaks (<i>this includes additional space, besides the garage and bedrooms, within a residential unit</i>)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Provide list of grocery stores, food markets, and farmer's markets located within a ¼ mile of the project	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Assessment of noise impact and provide noise mitigation measures within ½ mile of railroad, PW Parkway, commercial corridors, and collector/connectors.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

Applicant Signature  Date 8/16/23

August 15, 2023

City of Manassas, Virginia
Department of Community Development
9800 Godwin Drive
Manassas, VA 20110

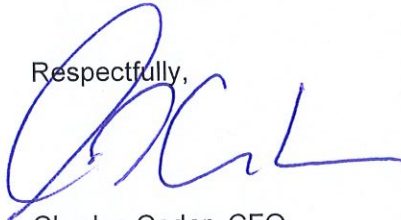
Re: Application for Rezoning Tax Map Parcel 101/10 3A/B, 9201 Portner Avenue (the "Property"); Prince William Hospital

To Whom it May Concern:

Prince William Hospital is the fee simple owner of the above-described Property, which is now under contract with MCAP Manassas LLC ("MCAP").

MCAP Manassas LLC is filing a rezoning application to rezone the Property from R-1 to R-6, Age Restricted Residential. This is to advise that Prince William Hospital, as the owner of the Property, hereby authorize MCAP Manassas LLC to act as the applicant under such Rezoning Application and for MCAP's agents, attorneys and consultants to act on behalf of the owner solely to process such application. However, Prince William Hospital, as Owner, specifically reserves the right to rescind both this authorization and the application at any time prior to closing of the above referenced sale.

Respectfully,



Charles Coder, CFO

cc: Craig S. Brown Esq.

CITY OF MANASSAS, VIRGINIA REZONING APPLICATION
CATON-MERCHANT HOUSE
9201 Portner Avenue
Tax Parcel 101/10 3A/B

Project Description. The proposal is to expand the existing assisted living facility known as the Caton Merchant House. The current facility is operated by the University of Virginia Health System. The applicant, MCAP Manassas LLC has an agreement to purchase the facility from Prince William Hospital, an affiliate of University of Virginia Health.

There are 78 assisted living units at Caton Merchant House currently. The proposal is to add a memory care unit by renovating one of the existing wings of the building and constructing an ~11,000 square-foot, 2-story addition (5,500 SF footprint). The existing unit count would be increased from 78 units to a proposed maximum of 94 units which will include both assisted living and memory care units.

The Proposal is Consistent with the Comprehensive Plan.

The City has adopted a 2040 Comprehensive Plan. Chapter 3 of the Comprehensive Plan addresses land use and focuses on the appropriate form and character of development throughout the City. An important objective identified in Chapter 3 is to “[p]romote a balanced mix of land uses, including residential, commercial, manufacturing, and open space, designed to create economic and living opportunities that create a vibrant and thriving City.” [Comprehensive Plan, page 27] Among the strategies recommended to achieve this objective is to “preserve and enhance existing residential areas while promoting infill development that is consistent with, and contributes to, that neighborhood’s character.” [Comprehensive Plan, LU 3.1.1, p. 27] Caton Merchant House is juxtaposed between a commercial center to the North, the Annaburg historic site to the South, and surrounding residential uses. The proposal, with its minimal impact on public infrastructure exemplifies infill development that is consistent with, and contributes to the neighborhood’s character.

Chapter 4 of the Comprehensive Plan addresses housing and neighborhoods. An important objective cited in this chapter is to “foster a healthy balance of high quality and attractive housing types, including starter, work force, move-up, executive, and senior housing, to serve an increasingly diverse population.” [Comprehensive Plan, HOU 4,5, page 73]

The applicant has identified an imbalance in the supply of certain housing for the City’s aging population. Market data indicate that there is a need for more secure, memory care beds in the Manassas area. Caton Merchant House presently does not offer a secure memory care environment. In an effort to help address this unmet demand, the applicant plans to add a secure memory care unit as part of the proposed project.

The applicant’s market analysis is consistent with the Comprehensive Plan’s demographic findings. Appendix B cites the following:

“While the city’s population growth has been fairly evenly distributed across age groups, the number of elderly residents has grown faster than the number of children. In 2010, only ten percent of Manassas residents were over the age of 60; in 2017, 14 percent of residents were over 60. The share of residents

under the age of 20 decreased slightly, shifting from 31 percent in 2010 to 29 percent in 2017.” [Appendix B. 155]

Protecting adjacent and neighboring properties. As the Generalized Development Plan (GDP) indicates, the applicant’s approach achieves the growth of the facility with minimum impacts to neighboring properties. The existing facility consists of an extended U-shape of the building wings. The improvements will primarily be tucked into the center of the U, the visibility of which should be largely obstructed from the properties to the South, East and North. There is no proposed change to the vehicular entrance to the facility at this time.

Projected Impacts. The proposed addition will have little impact, if any, to the surrounding community. The projected increases of four (4) weekday, AM peak and five (5) weekday PM peak vehicular trips per day will not affect the levels of service on, or unduly burden the surrounding street network.

The maximum number of units will be ninety-four (94).

Special Amenities. The amenities, which will be for the private use of residents, include dining, recreational lounges, and walking paths.

Offsite improvements. There are no new off-site improvements currently anticipated to complete this project.

Phasing. The entire expansion project will be complete in a single phase, with renovations to the existing facility to be completed in a preceding phase.

Scenic Assets. The proposed Annaburg municipal park is projected for the adjacent property. As indicated above, and on the GDP, the proposed expansion will not be visible from the park area.

August 11, 2023

City of Manassas, Virginia
Department of Community Development
9800 Goodwin Drive
Manassas, Virginia 20110

Re: Application for Rezoning Tax Map Parcel 101/10 3A/B/, 9201 Portner Avenue (the “Property”); DCSM Waivers Ordinance Sections 130.205(d)(7), 130.268(d)(8) and 130.268(d)(9)

To Whom it May Concern:

The Applicant respectfully requests waivers from the following Design Standards:

1. Section 130.268(d)(7). The Ordinance requires the following:

“Landscaping and tree canopy requirements (Art. VII).”

Section 130.20(c)(5)a contained in Article VII states:

“(5) *Landscaping and pedestrian connections.* Off-street parking areas shall comply with all applicable DCSM requirements as well as the following requirements for parking bays and landscaped islands.

a. Any site requiring four or more off-street parking spaces shall be provided with interior landscaping comprising at least seven percent of the total area of the off-street parking area and associated driveways and travelways. Such landscaping shall be in addition to any planting or landscaping buffers required by this chapter or the DCSM Interior landscaping shall not be required for any off-street parking spaces located airside and zoned I-A, Airport.”

The Applicant’s General Development Plan (GDP), dated August 9, 2023 prepared by Rinker Design Associates depicts the existing off-street parking areas and associated driveways. The existing conditions do not meet the standard of at least seven percent (7%) of the area dedicated to interior landscaping. The existing parking lot improvements predated this ordinance requirement and are legally, non-conforming conditions. The Applicant respectfully requests a waiver of this requirement and notes that the new, proposed courtyard does meet the 7% interior landscaping requirement.

2. Section 130.268(d)(8). The Ordinance requires the following:

August 11, 2023

Page 2

“Street trees shall be provided on all streets with a minimum of one tree for every 35 feet.”

As the GDP indicates, under the existing conditions, a distance of as much as sixty-one feet (61’) exists between certain trees adjacent to the street. As in the conditions described above, landscaping, including these mature tree plantings predated this ordinance requirement and are legally non-conforming conditions. The Applicant respectfully requests that existing trees planted along the relevant street serve as street trees to meet this requirement. Additional trees will be planted in locations adjacent to the street, as existing tree roots and other impediments will allow.

2. Section 130.268(d)(9). The Ordinance requires the following:

“Sign requirement, see Article VII of this chapter.”

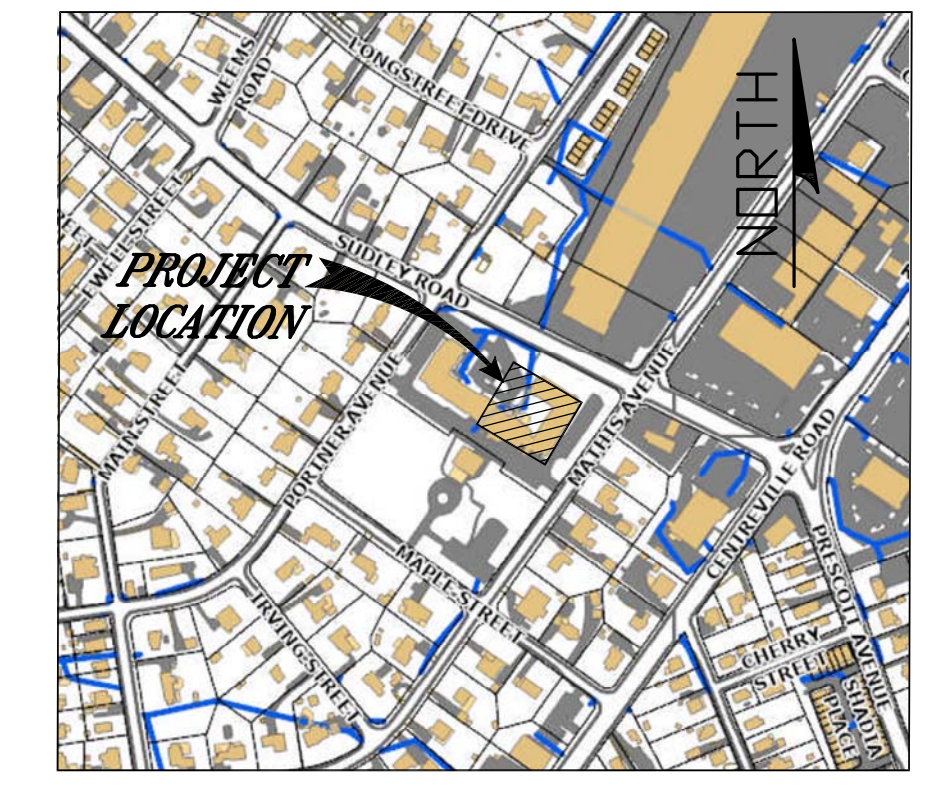
Article VII requires that signs be a minimum of twenty feet (20’) from the right of way. The existing Caton Merchant House sign located along Sudley Road is 9.72’ from the right of way. The existing sign predated this ordinance requirement and is a legally, non-conforming condition.

For the foregoing reasons, the Applicant requests waivers for the described requirements.

Respectfully,

MCAP Manassas LLC

cc: Mr. Andrew Yeagle

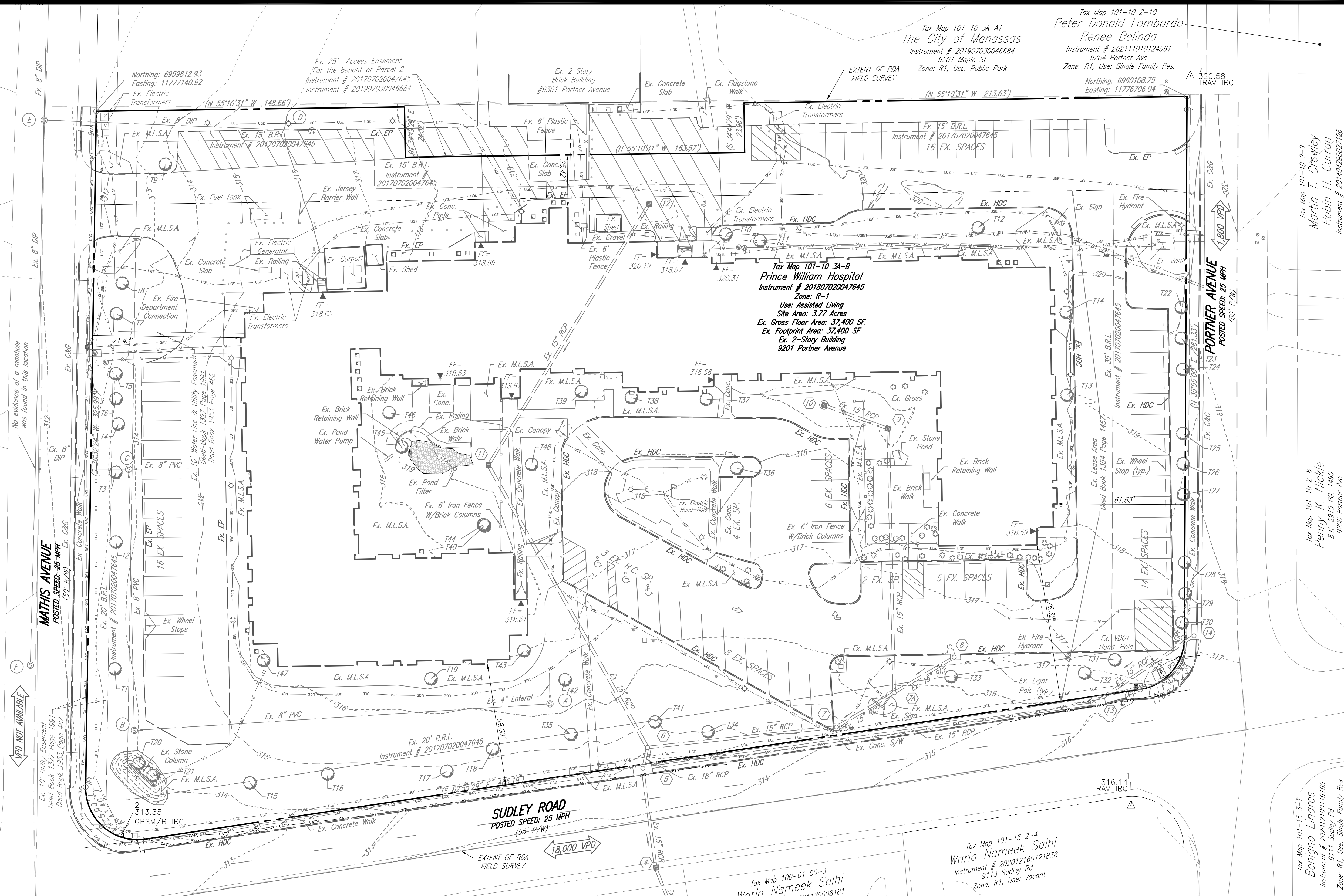


VICINITY MAP
SCALE: 1"=500'

NOTES

- THE PURPOSE OF THIS REQUEST IS FOR A REZONING OF THIS PROPERTY FROM R-1 TO R-6. THE PROPOSED USE IS "AGE RESTRICTED RESIDENTIAL".
- THE PROPERTY SHOWN HEREON IS LOCATED ON CITY OF MANASSAS TAX MAP 101/10 3A/B. THE PROPERTY CONSISTS OF 3.767 ACRES.
- BOUNDARY INFORMATION WAS TAKEN FROM DEEDS AND PLATS OF RECORD TOPOGRAPHY AND EXISTING STRUCTURES DATA TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY RINKER DESIGN ASSOCIATES, INC. DATED JULY 17, 2023. SUBSURFACE UTILITY DESIGNATION WAS PERFORMED BY MID-ATLANTIC UTILITY LOCATING, LLC ON JULY 12, 2023.
- ACCORDING TO THE DEEDS OF RECORD FOR THIS PROPERTY, THE CITY'S PUBLISHED ZONING AND TOPOGRAPHIC MAPS AND FROM AN ON-SITE VISIT, NO DELINEATION OF ANY GRAVE, OBJECT OR STRUCTURE MARKING A PLACE OF BURIAL WAS INDICATED ON-SITE.
- ACCORDING TO CITY OF MANASSAS GIS INFORMATION, THERE IS NO 100-YEAR FLOODPLAIN LOCATED ON THIS SITE.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITY EASEMENTS WITH A WIDTH GREATER THAN 25 FEET OR ANY MAJOR UNDERGROUND UTILITY EASEMENTS LOCATED ON THIS SITE.
- THERE ARE NO SCENIC ASSETS OR NATURAL FEATURES REQUIRING PROTECTION LOCATED ON THIS SITE. NO ADVERSE AFFECTS ON THE NEIGHBORING PROPERTIES ARE ANTICIPATED BY THE PROPOSED BUILDING ADDITIONS.
- THIS SITE IS CURRENTLY SERVED BY PUBLIC WATER AND SEWER.
- THIS SITE IS LOCATED OUTSIDE OF THE HISTORIC DISTRICT.
- A MODIFICATION OF THE INTERIOR PARKING LOT LANDSCAPING REQUIREMENT IS REQUESTED FOR THE EXISTING PARKING AREAS THAT WILL NOT BE MODIFIED WITH THE PROPOSED IMPROVEMENTS. INTERIOR PARKING LOT LANDSCAPING REQUIREMENT WILL BE MET FOR THE PROPOSED COURTYARD PARKING AREA.
- A MODIFICATION OF THE STREET TREES REQUIREMENT IS REQUESTED ALONG THE PORTNER AVENUE, SUDLEY ROAD, AND MATHIS AVENUE FRONTS. A MODIFICATION IS REQUESTED TO ALLOW EXISTING TREES TO MEET THE REQUIREMENT. SUPPLEMENTAL TREES WILL BE PLANTED IN LOCATIONS THAT WILL NOT CONFLICT WITH EXISTING TREE ROOTS.
- ALL PROPOSED LIGHTING WILL CONFORM TO THE PERFORMANCE STANDARDS OF THE CITY'S ZONING ORDINANCE AND SHALL BE SUBJECT TO FINAL SITE PLAN APPROVAL.
- ALL SIGNS PLACED ON THE SUBJECT PROPERTY WILL COMPLY WITH ARTICLE IV OF THE CITY'S ZONING ORDINANCE.
- MINOR DEVIATIONS MAY RESULT FROM FINAL ENGINEERING AND/OR ARCHITECTURAL PLANS SUCH AS THE BUILDING FOOTPRINT, LOCATION OF UTILITIES, WALKWAYS, SWIM FACILITIES, PARKING SPACES AND THE LIMITS OF CLEARING AND GRADING.
- THE PROPOSED REQUEST CONFORMS TO ALL APPLICABLE ORDINANCES, REGULATIONS AND STANDARDS AND THE COUNTY'S ADOPTED COMPREHENSIVE PLAN, EXCEPT AS NOTED.

EXISTING CONDITION
CATON MERCHANT HOUSE
 CITY OF MANASSAS, VIRGINIA
 SCALE: 1" = 25'
 AUGUST 11, 2023
 SHEET 1 OF 5



Tax Map 101-10 3A-B
Prince William Hospital
 Instrument # 201807020047645
 Zone: R-1
 Use: Assisted Living
 Site Area: 3.77 Acres
 Ex. Gross Floor Area: 37,400 SF
 Ex. Footprint Area: 37,400 SF
 Ex. 2-Story Building
 9201 Partner Avenue

Tax Map 101-10 3A-A1
The City of Manassas
 Instrument # 201907030046684
 9201 Maple St
 Zone: R1, Use: Public Park

Tax Map 101-10 2-10
Peter Donald Lombardo
Renee Belinda
 Instrument # 202111010124561
 9204 Partner Ave
 Zone: R1, Use: Single Family Res.

Tax Map 101-10 2-9
Martin T. Crowley
Robin H. Curran
 Instrument # 20140420027128
 9202 Partner Ave
 Zone: R1, Use: Single Family Res.

Tax Map 101-10 2-8
Pammy K. Nickle
 Instrument # 201104030028184
 9200 Partner Ave
 Zone: R1, Use: Single Family Res.

Tax Map 101-15 3-1
Benigno Limares
 Instrument # 202011170008181
 9113 Sudley Rd
 Zone: R1, Use: Single Family Res.

Tax Map 101-15 2-4
Wario Nameek Salhi
 Instrument # 202011170008181
 9113 Sudley Rd
 Zone: R1, Use: Vacant

Tax Map 100-01 00-3
Wario Nameek Salhi
 Instrument # 202011170008181
 9115 Sudley Rd
 Zone: B4, Use: Commercial

Tax Map 100-01 00-4
Four Taylors LLC
 Instrument # 201703020017177
 9166 Mathis Ave
 Zone: B4, Use: Commercial

Tax Map 100-05 5-12
Patsy H. Gough
 Instrument # 201707020047645
 9205 Mathis Ave
 Zone: R1, Use: Single Family Res.

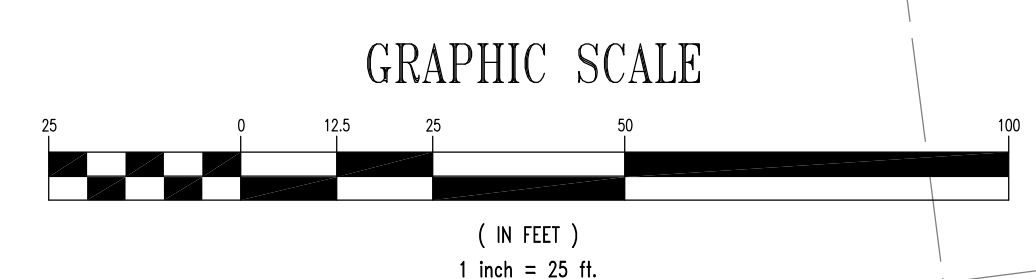
Tax Map 100-05 5-13
Jonghwan Baek
 Instrument # 20210570035003
 9210 Mathis Ave
 Zone: R1, Use: Single Family Res.

Tax Map 100-05 5-14
Michael And Mark Harris
 Instrument # 20200920020206
 9207 Mathis Ave
 Zone: R1, Use: Single Family Res.

Tax Map 100-05 5-14
Shannon Real Estate
 Instrument # 201104030028184
 9200 Sudley Rd
 Zone: B4, Use: Commercial.

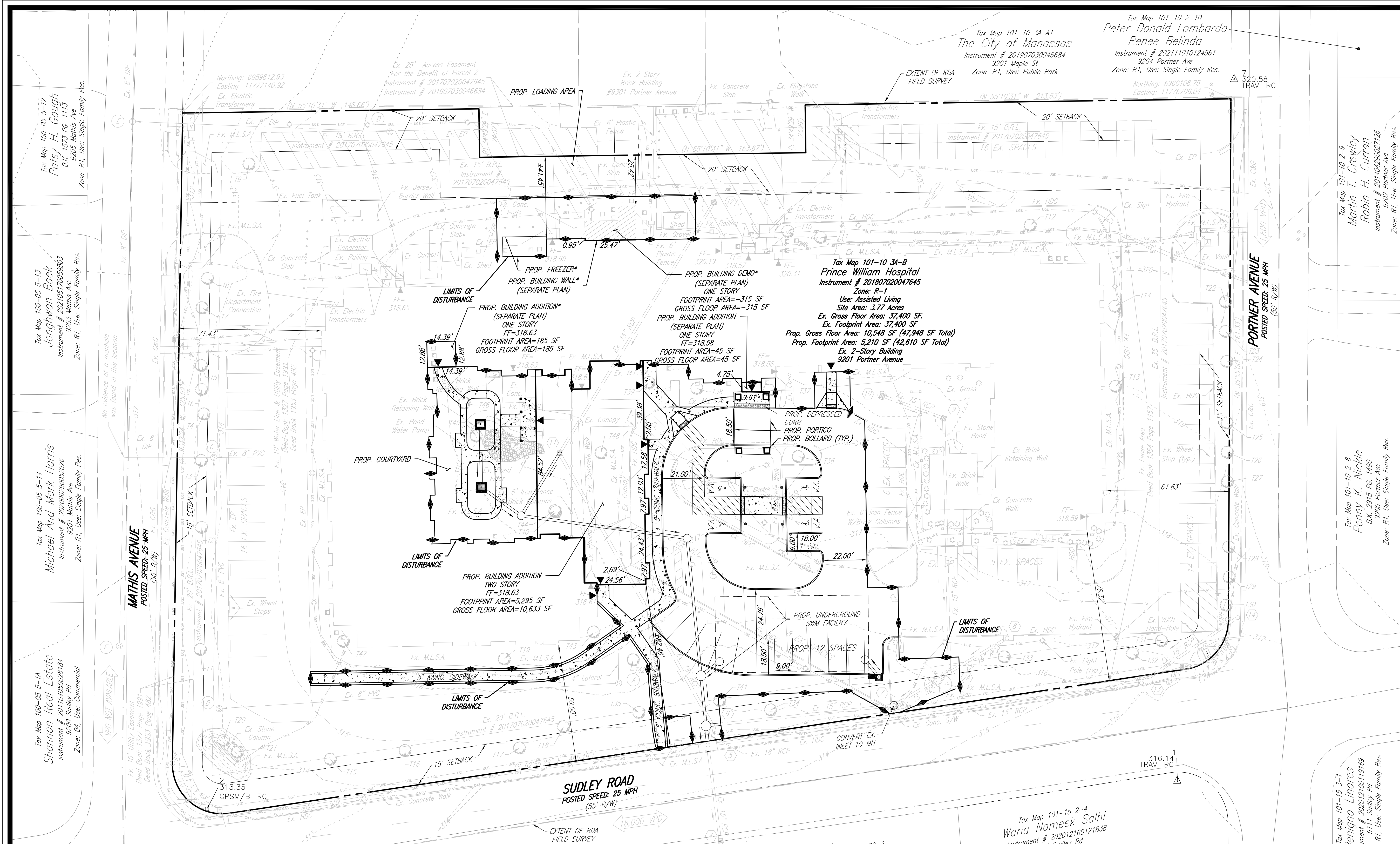
Tax Map 100-04 1-1
M C Corner LLC
 Instrument # 201802230012349
 9111 Sudley Rd
 Zone: B4, Use: Commercial

Tree No.	Description	Notes	Tree No.	Description	Notes
T1	8" Deciduous	SAVE	T25	12" Cherry	SAVE
T2	12" Deciduous	SAVE	T26	12" Cherry	SAVE
T3	18" Deciduous	SAVE	T27	12" Cherry	SAVE
T4	18" Deciduous	SAVE	T28	12" Cherry	SAVE
T5	6" Deciduous	SAVE	T29	12" Cherry	SAVE
T6	6" Deciduous	SAVE	T30	12" Cherry	SAVE
T7	6" Deciduous	SAVE	T31	15" Oak	SAVE
T8	6" Deciduous	SAVE	T32	15" Oak	SAVE
T9	18" Walnut	SAVE	T33	18" Oak	SAVE
T10	18" Deciduous	SAVE	T34	18" Oak	SAVE
T11	18" Deciduous	SAVE	T35	18" Oak	SAVE
T12	36" Oak	SAVE	T36	18" Deciduous	REMOVE
T13	10" Deciduous	SAVE	T37	10" Deciduous	REMOVE
T14	12" Deciduous	SAVE	T38	10" Deciduous	REMOVE
T15	26" Oak	SAVE	T39	10" Deciduous	REMOVE
T16	15" Oak	SAVE	T40	24" Triple Oak	REMOVE
T17	15" Oak	SAVE	T41	24" Oak	REMOVE
T18	24" Oak	SAVE	T42	10" Pear	SAVE
T19	18" Deciduous	SAVE	T43	20" Deciduous	SAVE
T20	6" Deciduous	SAVE	T44	60" Twin Oak	REMOVE
T21	6" Deciduous	SAVE	T45	15" Crate Myrtle	REMOVE
T22	12" Cherry	SAVE	T46	15" Japanese Maple	REMOVE
T23	12" Cherry	SAVE	T47	18" Deciduous	SAVE
T24	12" Cherry	SAVE	T48	24" Deciduous	REMOVE



LEGEND

⊙	Ex. Sanitary Manhole	---	Ex. Property Line
⊕	Ex. Sanitary Clean Out	---	Ex. Edge of Pavement
⊕	Ex. Gas Valve	---	Ex. Road Centerline
⊕	Ex. Storm Structure	---	Ex. Easement Line
⊕	Ex. Utility Pole	---	Ex. Swale Centerline
⊕	Ex. Guy Wire	---	Ex. Storm Sewer
⊕	Ex. Light Post	---	Ex. Sanitary Sewer
⊕	Ex. Telephone Pedestal	---	Ex. Underground Electric
⊕	Ex. Bollard	---	Ex. Underground Telephone
⊕	Ex. Sign	---	Ex. Telephone Duct
⊕	Ex. Boring	---	Ex. Underground TV Cable
⊕	Ex. Tree	---	Ex. Overhead Electric
⊕	Ex. Bush	---	Ex. Gasline
⊕	Ex. Spot Elevation	---	Ex. Waterline
⊕	Prop. Spot Elevation	---	Ex. Fence
⊕	Survey Control Point	---	Ex. Contours
⊕	Vehicle Per Day	---	Ex. Tree Line
		---	Ex. M.L.S.A.
		---	Limits of Disturbance

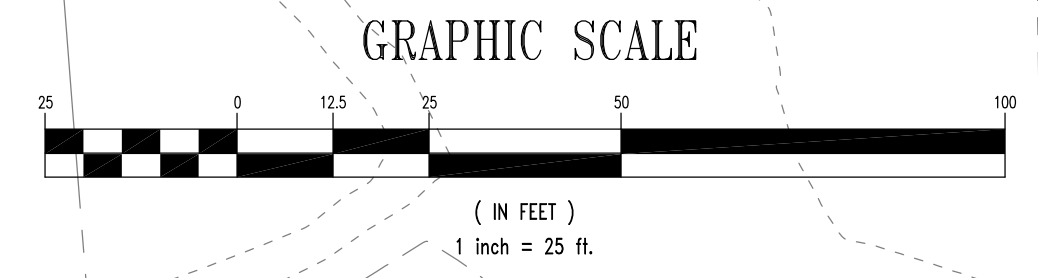


TRIP GENERATION INFO		
	88 BEDS (EX.)	105 BEDS (PROP.)
WEEKDAY AM PEAK HOUR	19	23
WEEKDAY PM PEAK HOUR	30	35
WEEKDAY	229	273

ITE TRIP GENERATION MANUAL, 11TH EDITION (254) ASSISTED LIVING

NOTES:

- BUILDING ADDITIONS NOTED AS "* SEPARATE PLAN" ARE ADDITIONS SUBJECT TO A MINOR SITE PLAN THAT WILL BE PROCESSED CONCURRENTLY WITH THE REZONING APPLICATION.
- ANY ADDITIONAL SIGNS WILL BE IN CONFORMANCE WITH ZONING ORDINANCE ARTICLE IV.
- LOCAL AND REGIONAL PARKS WITHIN 1/4 MILE OF PROJECT: ANNABURG MANOR HISTORIC SITE AND PARK



SITE INFORMATION

TAX MAP: 101/10 3A/B
 ADDRESS: 9201 PORTNER AVENUE
 OWNER: PRINCE WILLIAM HOSPITAL
 APPLICANT: MCAP MANASSAS, LLC

ZONING TABULATION

CURRENT ZONING: R-1
 CURRENT USE: ASSISTED LIVING
 PROPOSED ZONING: R-6
 PROPOSED USE: AGE RESTRICTED RESIDENTIAL

R-6 ZONING STANDARDS

MINIMUM AREA: 1.0 AC. (43,560 SF)
 PROVIDED AREA: 3.767 AC (164,088 SF)

MAXIMUM DENSITY: 25 D.U. PER AC. (MAXIMUM 94.2 D.U.)
 EXISTING DENSITY: 20.71 (78 D.U.)
 PROPOSED DENSITY: 24.95 (94 D.U.)

MINIMUM OPEN SPACE REQUIRED: 15%
 EXISTING OPEN SPACE: 22% (37,122 SF)
 PROPOSED OPEN SPACE: 17% (33,832 SF)

MINIMUM RECREATIONAL OPEN SPACE REQUIREMENT: 2,500 SF + (50 SF / D.U.)
 REQUIRED: 2,500 SF + (50 SF X 94 D.U.) = 7,200 SF
 EXISTING REC. OPEN SPACE: 8,600 SF (OUTDOOR)
 PROPOSED REC. OPEN SPACE: 7,496 SF (OUTDOOR)
 5,261 SF (INDOOR)
 12,757 SF (TOTAL)

MAXIMUM HEIGHT: 45 FT (AGE RESTRICTED HOUSING)
 PROPOSED HEIGHT: 28 FT (EXISTING AND PROPOSED)

BUILDING SETBACK REQUIREMENTS:
 30 FT FROM STREET R.O.W.
 PROVIDED: 59.00 FT
 25 FT FROM SIDE OR REAR LOT LINE
 PROVIDED: 41.45 FT

OFF STREET PARKING REQUIRED: 0.66 PER D.U.
 PARKING REQUIRED: 63 SPACES
 EXISTING PARKING: 74 SPACES (71 STANDARD, 3 H.C.)
 PROPOSED PARKING: 75 SPACES (71 STANDARD, 4 H.C.)

TREE CANOPY REQUIREMENTS:
 REQUIRED: 15% (STREET TREE FOR EVERY 35 FT)
 EXISTING: 22% (35,835 SF)
 PROPOSED: 17% (27,803 SF)

SIGN SETBACK REQUIREMENTS:
 REQUIRED: 20 FT FROM STREET R.O.W.
 EXISTING: 9.72'
 A WAIVER IS REQUESTED TO ALLOW LEGALLY NON-CONFORMING EXISTING SIGN ALONG SUDLEY ROAD R.O.W.

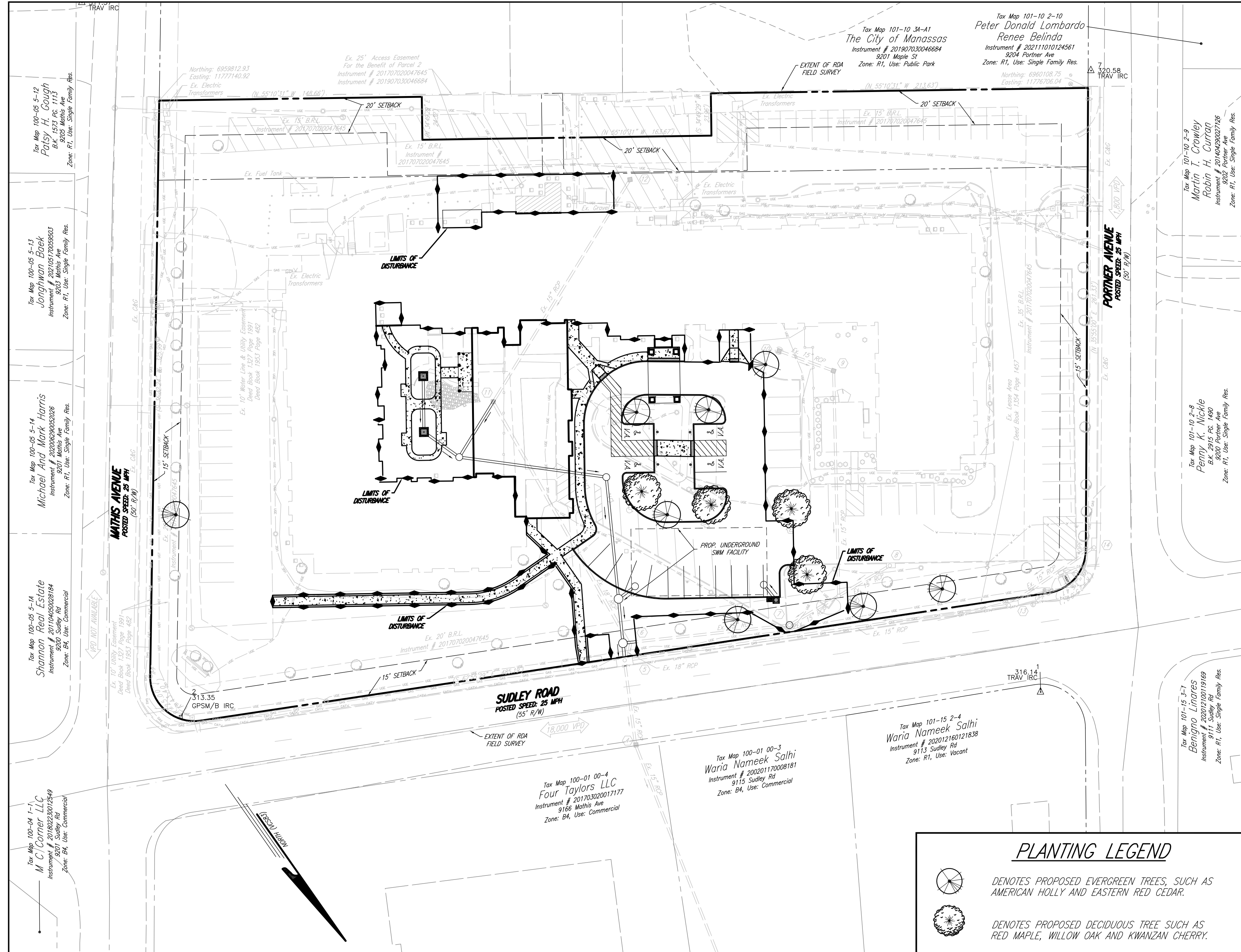
MAXIMUM BUILDING FOOTPRINT REQUIREMENT:
 LESS THAN 30% OF LOT AREA
 (EXCLUSIVE OF OFF STREET PARKING AND DRIVEWAYS)
 MAXIMUM BUILDING FOOTPRINT: 49,470 SF
 EXISTING FOOTPRINT: 37,400 SF
 PROPOSED FOOTPRINT: 42,610 SF

LOCAL AND REGIONAL PARKS WITHIN 1/4 MILE OF SITE:
 ANNABURG MANOR HISTORIC SITE AND PARK



**GENERALIZED DEVELOPMENT PLAN
 CATON MERCHANT HOUSE**
 CITY OF MANASSAS, VIRGINIA
 SCALE: 1" = 25'
 AUGUST 11, 2023
 SHEET 2 OF 5

TREE PLANTING

SCALE: 1"=40'

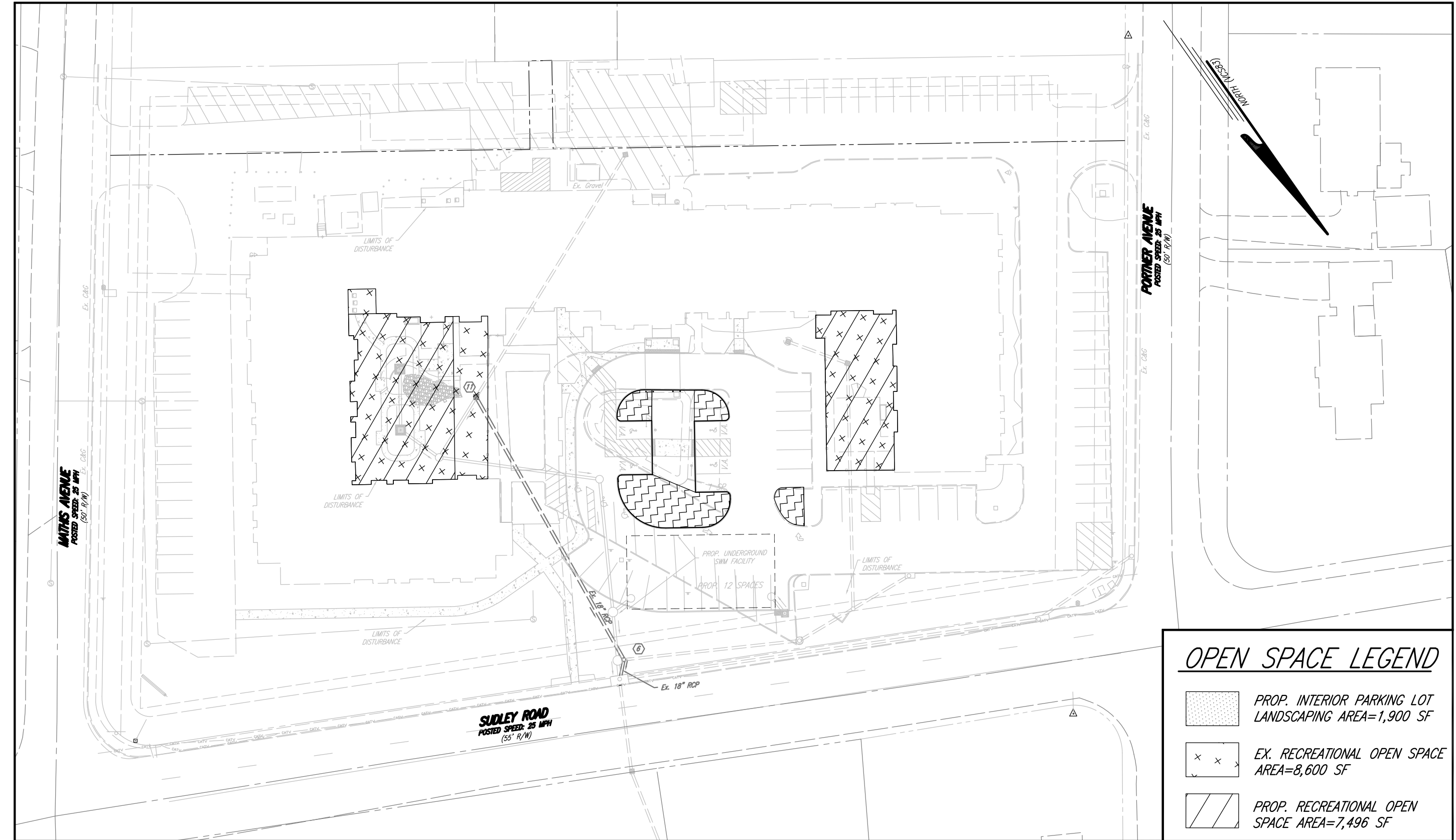


PLANTING LEGEND

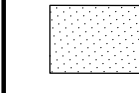
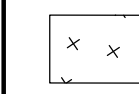
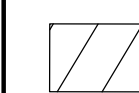
-  DENOTES PROPOSED EVERGREEN TREES, SUCH AS AMERICAN HOLLY AND EASTERN RED CEDAR.
-  DENOTES PROPOSED DECIDUOUS TREE SUCH AS RED MAPLE, WILLOW OAK AND KWANZAN CHERRY.

OPEN SPACE AND PLANTING AREAS

SCALE: 1"=50'

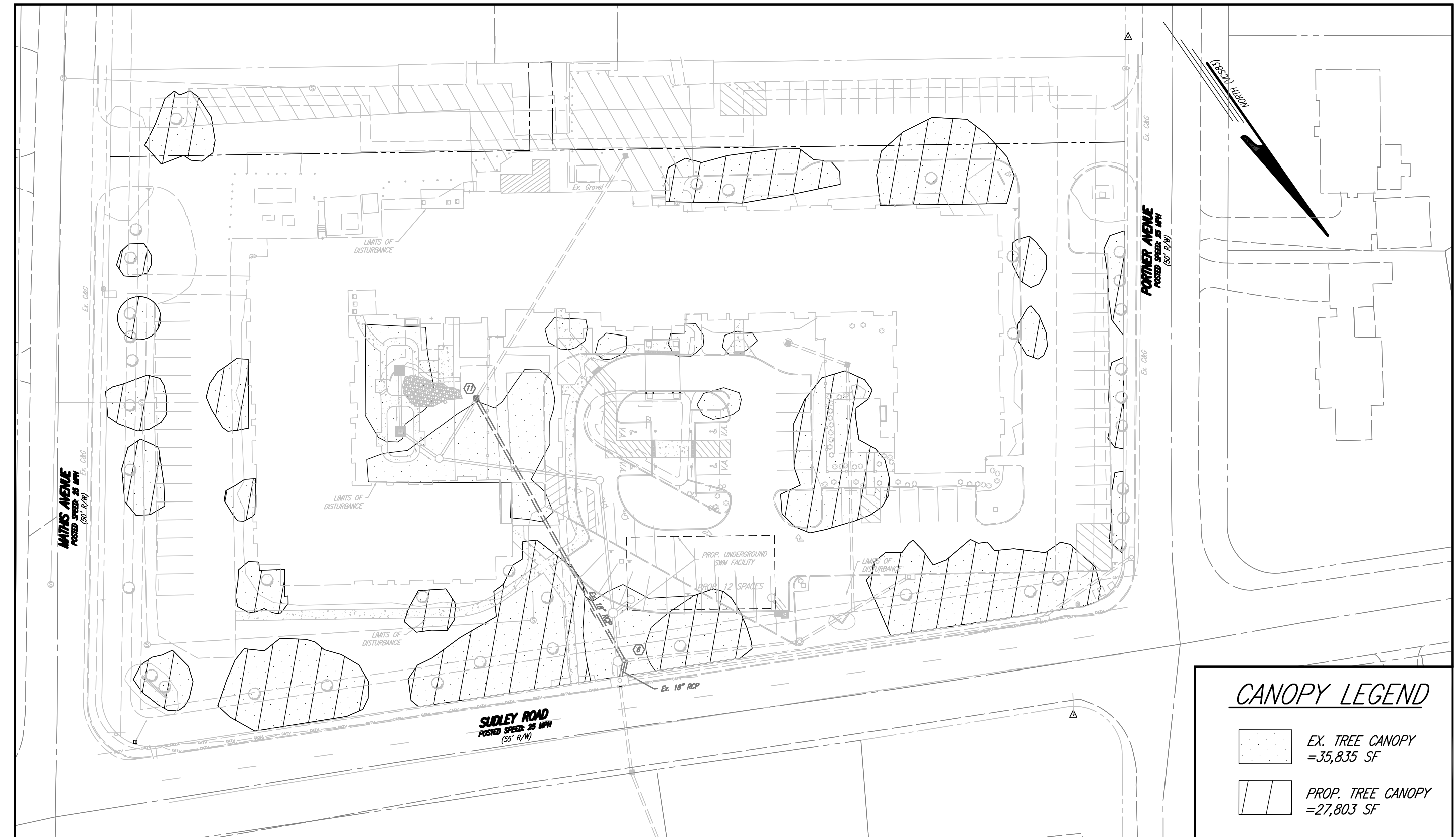


OPEN SPACE LEGEND



-  PROP. INTERIOR PARKING LOT LANDSCAPING AREA=1,900 SF
-  EX. RECREATIONAL OPEN SPACE AREA=8,600 SF
-  PROP. RECREATIONAL OPEN SPACE AREA=7,496 SF

TREE CANOPY AREAS

SCALE: 1"=50'



CANOPY LEGEND

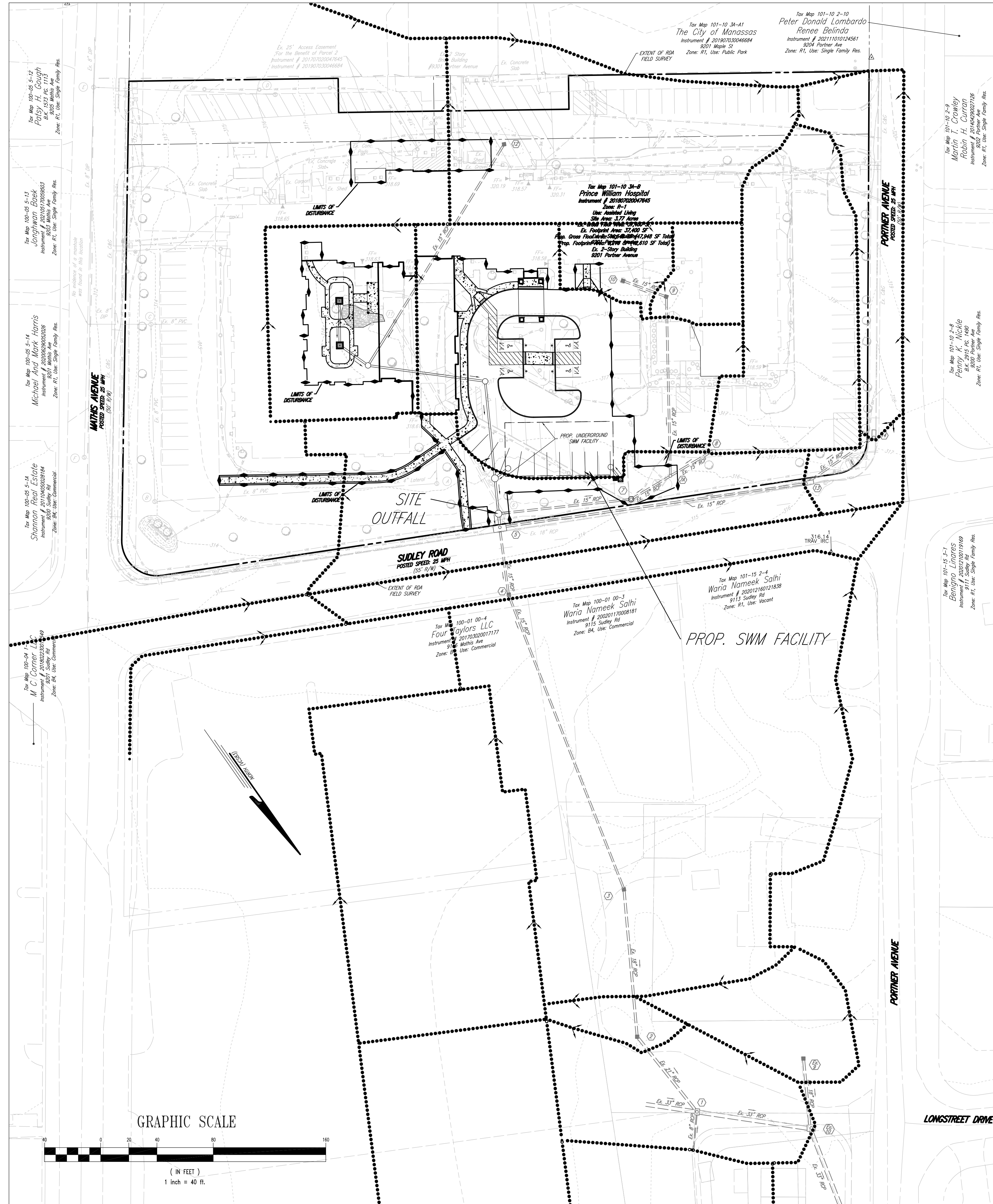
-  EX. TREE CANOPY =35,835 SF
-  PROP. TREE CANOPY =27,803 SF

NOTE: SEE LANDSCAPING COMPUTATIONS ON SHEET 2.

LANDSCAPING REQUIREMENTS
 CATON MERCHANT HOUSE
 CITY OF MANASSAS, VIRGINIA
 SCALE: AS SHOWN
 AUGUST 11, 2023
 SHEET 3 OF 5

STORMWATER OUTFALL

SCALE: 1"=40'



STORMWATER NARRATIVE

THIS SITE IS LOCATED IN THE MIDDLE BULL RUN WATERSHED. THE AREA OF THE SUBJECT PARCEL IS 3.767 ACRES. THE DISTURBED AREA ASSOCIATED WITH THE PROJECT IS 0.77 ACRES.

STORMWATER MANAGEMENT REQUIREMENT (SWM)

AN UNDERGROUND STORMWATER FACILITY (STORMTECH) IS PROPOSED. THIS SYSTEM WILL CONTROL THE 2YR AND 10YR PEAK FLOWS. THE 2YR PEAK FLOW FROM THE SITE WILL INCREASE BY 0.19 CFS, AND THE 10YR PEAK FLOW FROM THE SITE WILL INCREASE BY 0.18 CFS.

TOTAL SITE PEAK RUNOFF:

- 1YR STORM: 8.22 CFS (EXISTING), 8.41 CFS (PROPOSED)
- 2YR STORM: 10.55 CFS (EXISTING), 10.74 CFS (PROPOSED)
- 10YR STORM: 17.67 CFS (EXISTING), 17.85 CFS (PROPOSED)
- 100YR STORM: 36.80 CFS (EXISTING), 36.90 CFS (PROPOSED)

WATER QUALITY REQUIREMENTS (BMP)

THE TOTAL PHOSPHOROUS (TP) REMOVAL REQUIREMENT FOR THIS PROJECT IS 0.31 LB/YR. THIS REQUIREMENT WILL BE MET BY THE PROPOSED STORMWATER MANAGEMENT FACILITY. THE STORMTECH SYSTEM IS CREDITED WITH 65% REMOVAL CREDIT BY THE VA STORMWATER CLEARING HOUSE (SPEC. 12). THE VA RRM SPREADSHEET IS PROVIDED ON SHEET 5.

OUTFALL ASSESSMENT

THE EXISTING ONSITE STORM SEWER SYSTEM OUTFALLS TO A STORM INLET (STRUCTURE 5) ON THE SOUTHERN SIDE OF SUDLEY ROAD. THE STORM SEWER CROSSES UNDER SUDLEY ROAD. THE SYSTEM THEN CONTINUES NORTH BEHIND THE MANASSAS SHOPPING CENTER, THEN WEST TOWARD PORTNER AVENUE AT THE INTERSECTION OF PORTNER AVENUE AND LONGSTREET DRIVE. THE SYSTEM WAS ASSESSED TO A POINT 450 FEET DOWNSTREAM OF THE SITE OUTFALL ALONG SUDLEY ROAD. NECESSARY IMPROVEMENTS TO THE DOWNSTREAM SYSTEM WILL BE PROVIDED.

SANITARY SEWER NARRATIVE

THE EXISTING BUILDING IS CURRENTLY SERVED BY SANITARY SEWER. EXISTING ONSITE SANITARY FLOWS TO MANHOLE "C" AT THE EASTERN PROPERTY LINE. THIS MANHOLE THEN CONNECTS TO AN 8" DIP SANITARY SEWER "F TO E" LOCATED ALONG MATHIS AVENUE. THIS SANITARY SEWER CONTINUES SOUTH TOWARD MAPLE STREET.

HOMES FOR THE AGED: 100 GPD/BED (DCSM TABLE 7.1)

TOTAL BEDS: 88 EXISTING
105 PROPOSED

ESTIMATED FLOW: 8,800 GPD (0.10 CFS) EXISTING
10,500 GPD (0.12 CFS) PROPOSED

THE SANITARY OUTFALL PIPE "F TO E" HAS A CAPACITY OF 1.22 CFS. THE RATES STATED IN THE CITY OF MANASSAS DCSM (TABLE 7.1) ARE CONSERVATIVE. NO SIGNIFICANT SANITARY INCREASE IS ANTICIPATED FROM THIS SITE AS A RESULT OF THE PROPOSED BUILDING ADDITION.

STORMWATER AND SANITARY
REQUIREMENTS
CATON MERCHANT HOUSE
CITY OF MANASSAS, VIRGINIA
SCALE: 1" = 40'
AUGUST 11, 2023
SHEET 4 OF 5

Project Name: **Caton Merchant House Addition**
 Date: **8/9/2023**
 Linear Development Project? **No**

CLEAR ALL
 (Ctrl+Shift+R)

data input cells
 constant values
 calculation cells
 final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → **0.77**

Maximum reduction required:	10%
The site's net increase in impervious cover (acres) is:	0.12
Post-Development TP Load Reduction for Site (lb/yr):	0.31

Check:
 BMP Design Specifications List: **2013 Draft Stds & Specs**
 Linear project? **No**
 Land cover areas entered correctly? **✓**
 Total disturbed area entered? **✓**

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed forest/open space					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.37	0.37
Impervious Cover (acres)				0.40	0.40
Total					0.77

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.25	0.25
Impervious Cover (acres)				0.52	0.52
Total					0.77

Area Check: **OK.** **OK.** **OK.** **OK.** **0.77**

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Land Cover Summary-Pre	Listed	Adjusted ¹
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.37	0.25
Weighted Rv(turf)	0.25	0.25
% Managed Turf	48%	38%
Impervious Cover (acres)	0.40	0.40
Rv(impervious)	0.95	0.95
% Impervious	52%	62%
Total Site Area (acres)	0.77	0.65
Site Rv	0.61	0.68

LAND COVER SUMMARY -- POST DEVELOPMENT

Land Cover Summary-Post (Final)	Post-Development	Post-Development New Impervious
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.25	0.25
Weighted Rv(turf)	0.25	0.25
% Managed Turf	32%	38%
Impervious Cover (acres)	0.52	0.12
Rv(impervious)	0.95	0.95
% Impervious	68%	62%
Final Site Area (acres)	0.77	0.65
Final Post Dev Site Rv	0.72	0.68

Treatment Volume and Nutrient Load

Pre-ReDevelopment	Post-Development
Pre-ReDevelopment Treatment Volume (acre-ft)	0.0394
Pre-ReDevelopment Treatment Volume (cubic feet)	1,715
Pre-ReDevelopment TP Load (lb/yr)	1.08
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	1.40
Baseline TP Load (lb/yr) (0.41 lb/acre/yr applied to pre-redevelopment areas excluding pervious land proposed for new impervious cover)	0.27

Treatment Volume and Nutrient Load

Post-Development	Post-Development New Impervious
Final Post-Development Treatment Volume (acre-ft)	0.0464
Final Post-Development Treatment Volume (cubic feet)	2,020
Final Post-Development TP Load (lb/yr)	1.27
Final Post-Development TP Load per acre (lb/acre/yr)	1.65
Max. Reduction Required (Below Pre-Development Load)	10%

¹ Adjusted Land Cover Summary:
 Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.
 Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new Impervious cover).
 Column 1 shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr)	0.31
------------------------------------	-------------

Nitrogen Loads (Informational Purposes Only)

Pre-ReDevelopment TN Load (lb/yr)	7.71	Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (lb/yr)	9.08
-----------------------------------	------	--	------

Drainage Area A

Drainage Area A Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)				0.13	0.13	0.25
Impervious Cover (acres)				0.52	0.52	0.95
Total					0.65	

Stormwater Best Management Practices (RR = Runoff Reduction)

--Select from dropdown lists--

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
11. Filtering Practices (no RR)													
11.a. Filtering Practice #1 (Spec #12)	0			0	0	0	0	60	0.00	0.00	0.00	0.00	
11.b. Filtering Practice #2 (Spec #12)	0	0.13	0.52	0	0	1,911	1,911	65	0.00	1.20	0.78	0.42	

Site Results (Water Quality Compliance)

Area Checks

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST/OPEN SPACE (ac)	0.00	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER (ac)	0.52	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED (ac)	0.52	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA (ac)	0.13	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA TREATED (ac)	0.13	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	

Site Treatment Volume (ft³) **2,020**

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft ³)	0	0	0	0	0	0
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	1.20	0.00	0.00	0.00	0.00	1.20
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.78	0.00	0.00	0.00	0.00	0.78
TP LOAD REMAINING (lb/yr)	0.42	0.00	0.00	0.00	0.00	0.42
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	3.86	0.00	0.00	0.00	0.00	3.86

Total Phosphorus

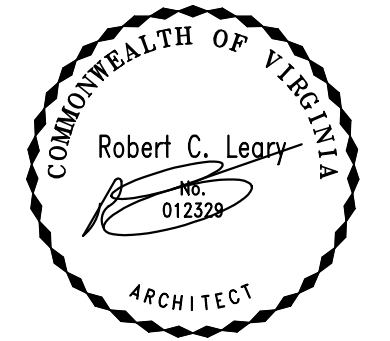
FINAL POST-DEVELOPMENT TP LOAD (lb/yr)	1.27
TP LOAD REDUCTION REQUIRED (lb/yr)	0.31
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.78
TP LOAD REMAINING (lb/yr)	0.49
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr):	0.00 **
** TARGET TP REDUCTION EXCEEDED BY 0.47 LB/YEAR **	

Total Nitrogen (For Informational Purposes)

POST-DEVELOPMENT LOAD (lb/yr)	9.08
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	3.86
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	5.22



ARCHITECTURE CONSTRUCTION DESIGN/RENDER
 DEDICATED CONSTRUCTION SPECIALISTS
 119 High Street Portsmouth, Va 23704
 Ph: (757) 468-4747 Fax: (757) 468-4768



This document and the information included herein are not to be conveyed in drawings with other parties without written consent of db3. If used for any purpose other than that intended, db3 shall not be responsible for any consequences or as acceptance of responsibility for appropriate compensation.

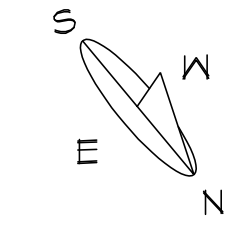
ELEVATIONS
 CSL AT MANASSAS
 MANASSAS, VIRGINIA

PROJECT NUMBER:
 13-112
 ISSUED DATE:
 6-18-13
 REVISIONS:

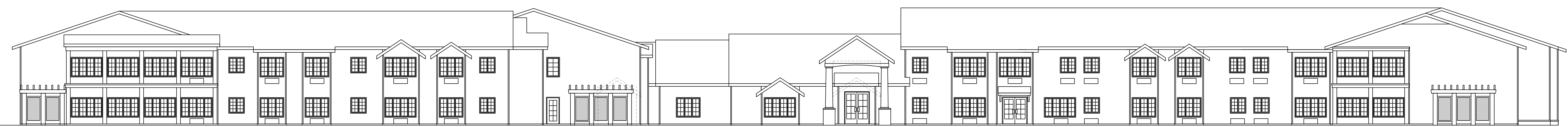
1-PRES

SHEET:
 1-OF-5

COLUMN/TRELLIS FEATURE ADDITION



COLUMN/TRELLIS FEATURE END VIEW OF ADDITION NEW PORTECO AND ENTRANCE NEW COURTYARD ENTRY COLUMN/TRELLIS FEATURE



TRELLIS FEATURE ADDITION



TRELLIS FEATURE END VIEW OF ADDITION NEW PORTECO AND ENTRANCE NEW COURTYARD ENTRY TRELLIS FEATURE

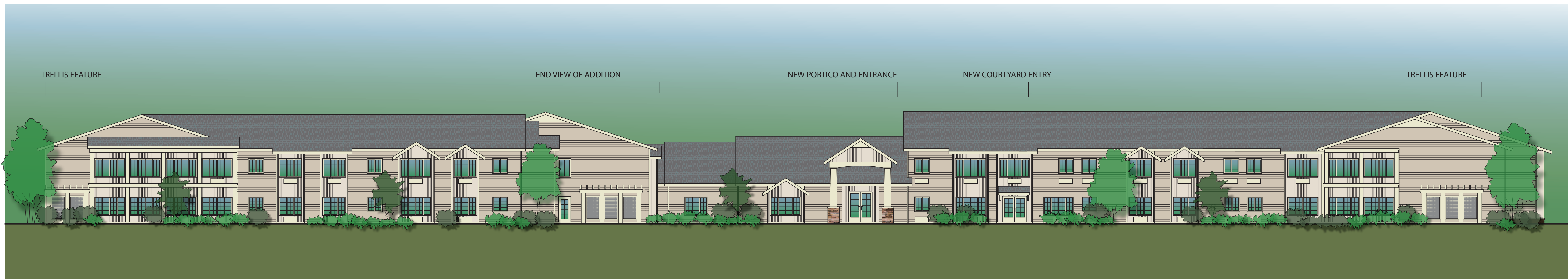
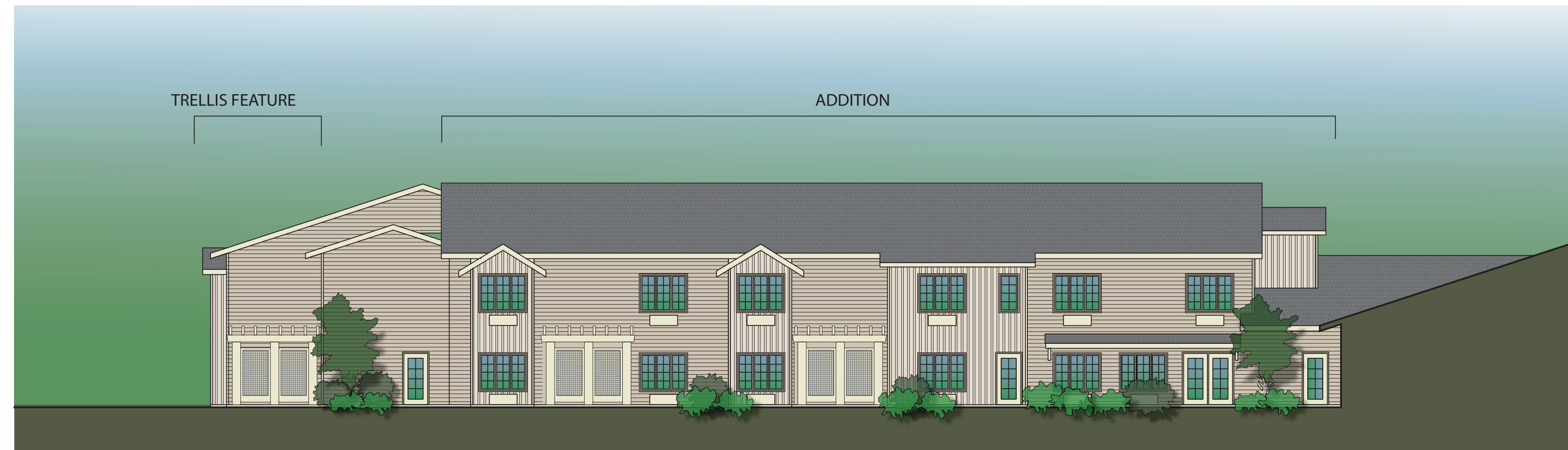


Stone or Vertical Siding, TBD by Owner

HORIZONTAL PREFINISHED 6" LAP SIDING, 4" CORNER BDS
 BOARD AND BATTEN PREFINISHED SIDING SYSTEM
 CULTURED STONE OR BRICK BASE WITH PRECAST TOP

ENHANCED FOUNDATION PLANTING IN
 RAISED STACKED CULT STONE BEDS
 AT TRELLIS FEATURES AND AT PRIMARY FLOWER BEDS

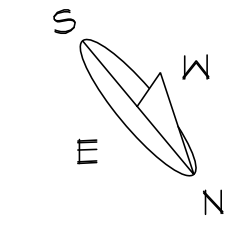
Please Note: The conditions set forth in this submission are not to be construed as to be binding on the development of the property subject of this application.



Stone or Vertical Siding, TBD by Owner

CATON MERCHANT - PROPOSED ELEVATIONS-1

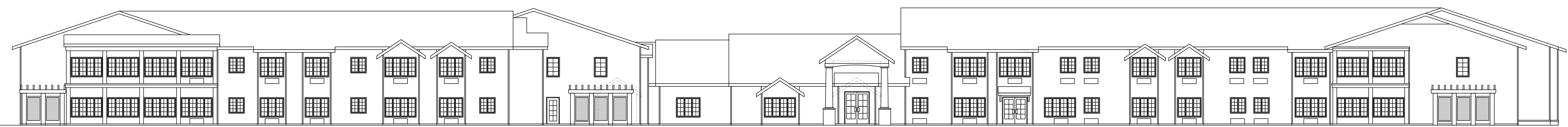
Please Note: The conditions set forth in this submission are not to be construed as to be binding on the development of the property subject of this application.



COLUMN/TRELLIS FEATURE ADDITION



COLUMN/TRELLIS FEATURE END VIEW OF ADDITION NEW PORTECO AND ENTRANCE NEW COURTYARD ENTRY COLUMN/TRELLIS FEATURE



TRELLIS FEATURE ADDITION



TRELLIS FEATURE END VIEW OF ADDITION NEW PORTECO AND ENTRANCE NEW COURTYARD ENTRY TRELLIS FEATURE



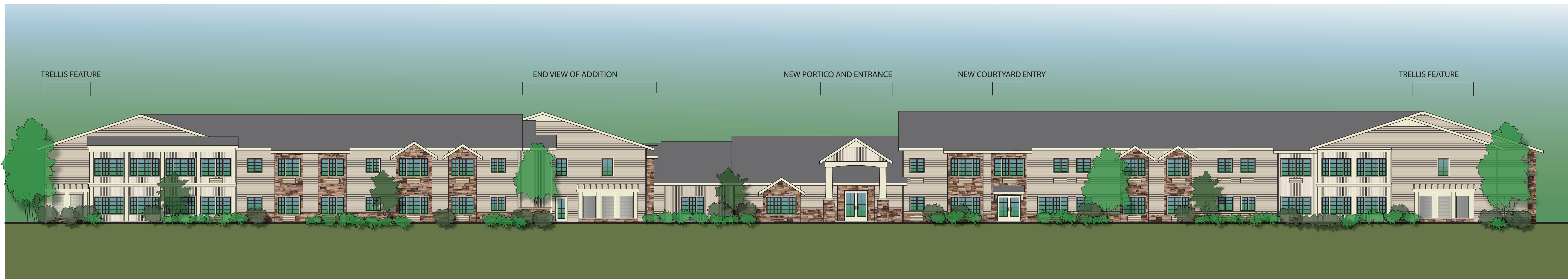
Stone or Vertical Siding, TBD by Owner

- HORIZONTAL PREFINISHED 6" LAP SIDING, 4" CORNER BDS
- BOARD AND BATTEN PREFINISHED SIDING SYSTEM
- CULTURED STONE OR BRICK BASE WITH PRECAST TOP
- CULTURED STONE / MASONRY ACCENTS - MULTI HEIGHT / MULTI-TEXTURE
- LAYOUT MAY VARY DUE TO FIELD CONDITIONS
- ENHANCED FOUNDATION PLANTING IN RAISED STACKED CULT STONE BEDS AT TRELLIS FEATURES AND AT PRIMARY FLOWER BEDS

Please Note: The conditions set forth in this submission are not to be construed as to be binding on the development of the property subject of this application.



Stone or Vertical Siding, TBD by Owner



Stone or Vertical Siding, TBD by Owner

CATON MERCHANT - PROPOSED ELEVATIONS -2

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REZONING APPLICATION
Architectural Renderings – Design Guidelines
(Zoning Ordinance 130-543 e)

Rooftop Mechanical Screening: Shall be constructed to be min 6” above rooftop equipment and allow adequate airflow for such equipment. Screening shall be via alternating painted board screen wall or similar – installed vertically or horizontally depending on the arrangement of the item to be screened. Screening to prevent sightline views of new rooftop equipment from a distance of 6’ above grade at 150’ away from the structure. Any items which can not be screened in such fashion ie: that are small in footprint (ie: 18”x18”x18” or less) shall be painted to match main roof color to blend into the roof shingles.

External and Freestanding site lighting: Shall be specified and installed in such a manner as to not create upward or sideward light pollution and maintained to keep light within the bounds of the building and parking areas.

Screening of New ground level hvac units: Shall be via alternating board vinyl fencing or similar screening wall, approximately 12” taller than hvac equipment with landscape area base (if in a plant-able area) or similar to allow airflow but in order to skew visibility of new equipment.